

# 8 Dolphin Street YEPPOON QLD 4703

Report Prepared: 19-Jan-22  
Inspector: Karen Logan  
QBCC Licence: 79725



**Karen Logan**  
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# BUILDING REPORT

## REPORT DETAILS

**Property Inspected** 8 Dolphin Street, YEPPOON QLD 4703  
**Client** Client Name

## Inspection Details

**Inspection Date** 18-Jan-22  
**Time of Inspection** 9.00 am  
**Persons In Attendance** Karen Logan (Building Inspector), Troy Wigginton (Pest Inspector) & Tenant  
**Weather Conditions** Fine  
**Recent Weather Conditions** Mostly fine  
**Building Tenancy** Occupied  
**Furnished** Yes

## Access for Inspection

*Restricted access caused by stored goods, furnishings, window treatments, security devices, vegetation, duct work, confined spaces, insulation and other impediments may limit the scope of this inspection.*

- Interior – access was restricted by the occupant's furniture and belongings
- Ceiling cavity - access was restricted by insulation installed on the ceiling concealing electrical wiring causing unsafe access
- Roof Exterior - access was acceptable
- Subfloor - access was acceptable

## Report Summary

**IMPORTANT - Please read the complete report and "Scope of Limitations" section before making any decisions with regard to the condition of this property.**

**THE PURPOSE OF THIS REPORT** is to identify major defects or faults in the building **visible on the date of the inspection** for the intending purchaser, insofar as a property inspector can reasonably identify those defects or faults.

The report contains a number of observations but is not intended to list every minor defect. Minor defects are common to properties and are generally attended to during routine maintenance, redecoration and or renovation. Generally, ongoing maintenance items, upgrading, cosmetic works and minor defects or faults have not been included. These items will depend on your personal requirements and budget. As previously mentioned the property age and type also needs to be taken into consideration.

**Having completed a visual inspection and assessment of the dwelling on the subject property it is my opinion that:**

- The property is of **a Below Average Condition** giving consideration of similar buildings of age and type in its location

### Definitions:

**Above Average** – The overall condition of the building is above that consistent with dwellings of approximately the same age and construction in its location. Most items and areas are well maintained and show a reasonable standard of workmanship when compared to similar buildings of age and construction

**Average** – The overall condition of the building is consistent with buildings of approximately the same age and construction in its location. There will be areas or items requiring some repair or maintenance.

**Below Average** – The building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

### **Please Note:**

**It is not uncommon for council approved buildings, or subsequent additions to not have building and or plumbing finals completed. It is highly recommended that the purchaser contact Livingstone Shire Council for confirmation that all required building and plumbing finals have been completed.**

**This building appears to have been constructed prior to 1985 and therefore where cement sheet is mentioned in the report, the cement sheet may contain asbestos – consultation with a licenced asbestos specialist would be required for any further advice**

**Where the property is a strata or similar title, only the interior and immediate exterior of the specified dwelling will be inspected by the inspector. The inspection will be as outlined in AS 4349.1-2007 Appendix B. Any observation to common areas is for information purposes only**

## Description of Property

### Type of Development

- Free Standing Domestic Dwelling
- Levels – One
  
- Kitchen & dining area
- Living room
- Four bedrooms
- Ensuite to main bedroom
- Bathroom
- Toilet
- Laundry
- Storeroom
- Front verandah
- Rear patio

### Roofing

- Timber Truss
- Corrugated painted steel roof sheeting

### Exterior Walls

- Cement sheet and cement strip on timber frame

### Interior Walls & Ceiling Linings

- Timber frame with cement sheet and plasterboard wall and ceiling linings

### Flooring

- Floor construction - concrete slab and suspended timber

### Motor Vehicle Accommodation

- None

### Other Structures & Services

- Solar hot water service
- Air conditioning

### Approximate age of the Building

- Meter box meter – 1975 – 47 years

## Scope of Inspection and Standard Indicators

***This report is written considering the Australian Standard AS4349.1—2007 Inspection of buildings (Property Inspections—Residential buildings) and is the result of a VISUAL INSPECTION ONLY - IT IS INTENDED TO BE READ AS A WHOLE.***

The report is not designed to quantify features of the property; rather it is our role to conduct a thorough visual inspection and report only on areas of concern and identify critical defects or faults for an intending purchaser, insofar as a property inspector can reasonably identify those defects or faults.

When reading this report, the age of the building needs to be taken into consideration. Some items may not have been detailed, as they are considered a normal occurrence or general wear and tear for a building of this age. Electrical appliances and utilities such as water reticulation, electrical wiring or gas installations, swimming pool and spa equipment were not tested. Qualified technicians should be consulted in regard to these items.

Generally, ongoing maintenance items, upgrading, cosmetic works and minor defects or faults will not be detailed.

***The Property Inspector uses three terms when describing the standard of a building or a particular item being scrutinised. They are:***

**Acceptable** - The feature or area subject to comment is, in the inspector's opinion, of sufficient standard to not require any remedial or repair work. There may be minor imperfections in the finish. Some surfaces may benefit from cleaning or retouching.

**Fair** - The feature or area subject to comment is, in the inspector's opinion, usable but has deteriorated and would benefit from remedial or repair work. For instance, painting may be required, render may require patching, and door or window fittings may require adjustment or repair.

**Poor** - The feature or area subject to comment, in the inspector's opinion, requires substantial remedial or repair work, or replacement. Faults are major and possibly structural. Repairs are considered necessary rather than discretionary.

**Note**

*All of the above terms are used having regard for the age, quality of workmanship, style and type of construction of the building being inspected. For example, the features and finishes considered "Acceptable" in a 50 year old building are not necessarily going to be so in a modern dwelling. A new or near new building without significant defects would usually be described as "Acceptable".*

*The inspector did not move or remove any ceilings, wall coverings, floor coverings (including carpeting and wooden floorboards), furnishings, equipment, appliances, pictures or other household goods. In an occupied property, furnishing or household items may be concealing defects.*

## What the Inspector Examines

To provide relevance and value for the reader, at the end of this report we have included a matrix showing aspects that are considered during an inspection. We recommend that you read this information to gain perspective about the detail of our examination. Comment on many items will only be provided in the event of an adverse finding worthy of mention.

### For your information

Some comments made throughout this report may appear repetitive. However, this is designed to inform the reader that the elements commented on have been inspected.

## Areas Inspected *If applicable and accessible*

The Site  
The Building Exterior

The Building Interior  
The Roof Cavity

The Roof Exterior  
The Subfloor

## The Site

### Driveways & Paths

Overall Condition: **acceptable**

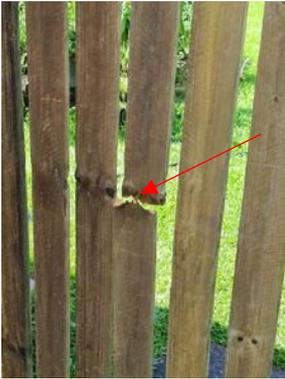


### Fences, Gates & Retaining Walls

Overall Condition: **fair**

- Comments –
  - There is significant deterioration to the L/H side fence that would benefit from repair
  - There is damage to the R/H side gate requiring repair





## Surface Water Drainage

- Comments –
  - Surface water most likely flows through the yard toward the drain located at the rear L/H corner of the property – the fencing applied to the area at the rear of the building to the rear boundary fence appears to prevent water flow to the drain – highly recommend consultation with a structural landscaper or licenced plumber for further assessment and recommendation to ensure water is adequately diverted to the drain in order to prevent further building subsidence, damage to the building elements and attraction of termites
  - The downpipes dispersing water directly beside the building would benefit from further diversion to prevent building subsidence, damage to the building elements and attraction of termites



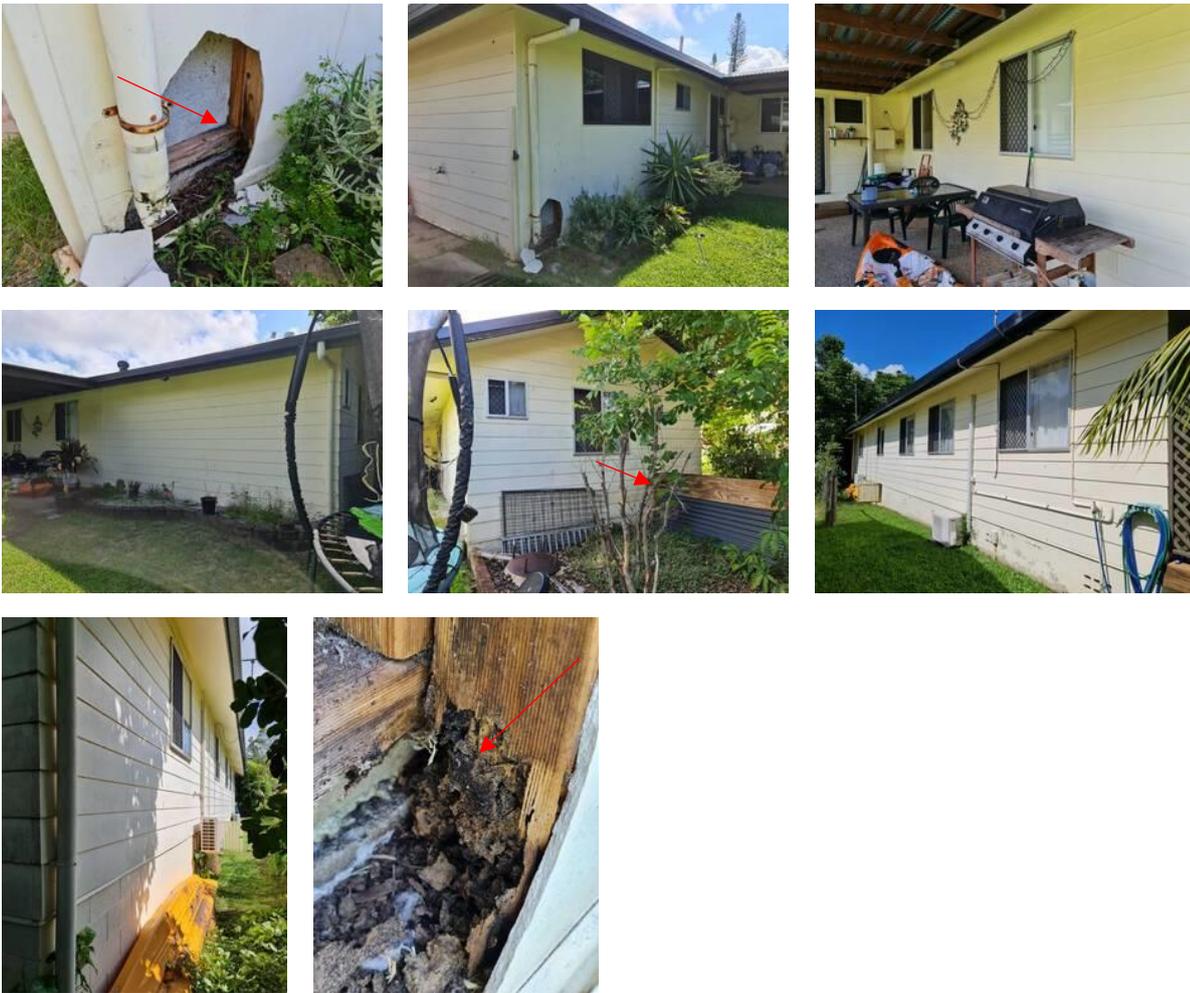
# The Building Exterior

## External Walls, Windows & Doors

Overall Condition: fair/poor

- Comments –
  - There is visible evidence of termite activity in several areas of the building – further invasive inspection would be required to determine the extent of the damage and a course of action as required – also highly recommend consultation with a licenced timber pest specialist for further assessment and recommendation
  - There is damage to the ant capping at the base of the walls that would benefit from repair – an alternative termite barrier could be a consideration
  - There is damage to the wall cladding at the rear of the bathroom requiring repair – further invasive inspection would be required to determine the extent of the damage and a course of action as required - there is visible evidence of termite activity in the wall framing – highly recommend consultation with a licenced timber pest specialist for further assessment and recommendation



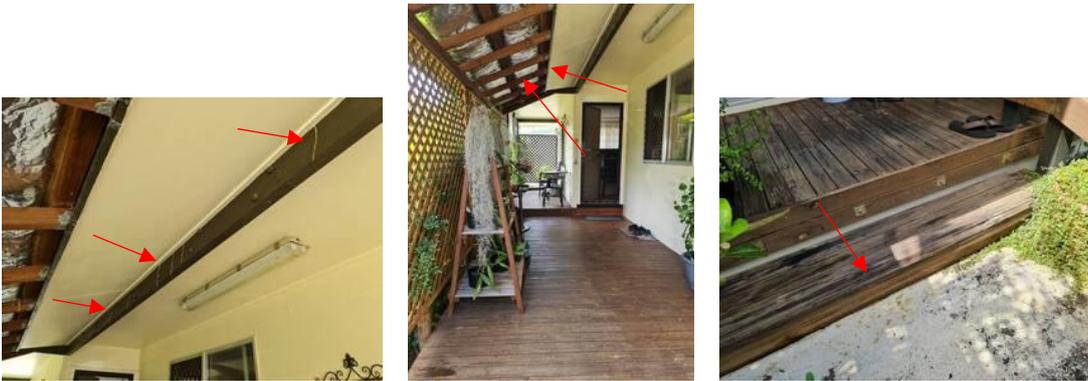


### Front Verandah

Overall Condition: fair

- Comments –
  - There is visible evidence of termite activity on the support beam and timber fascia – further invasive inspection would be required to determine the extent of the damage and a course of action as required – also highly recommend consultation with a licenced timber pest specialist for further assessment and recommendation
  - The ceiling lining appears incomplete – installation of lining could be a consideration
  - There is damage to the front steps requiring repair





## Patio

Overall Condition: **fair**

- Comments –
  - The pergola structure appears to have been constructed for a slat roof only – the installation of roof sheeting most likely requires the structure to be upgraded to prevent uplift during serious weather events – highly recommend consultation with a structural engineer to determine structural adequacy
  - The installation of a gutter and drainage would be beneficial to adequately divert water away from the building



## Other External

- Comments –
  - Split system air conditioning is installed
    - Air conditioning drains dispersing water directly beside the building would benefit from further diversion to prevent building subsidence, damage to the building elements and attraction of termites
    - One of the air conditioners is out of level requiring re-positioning



## The Building Interior

### Bedroom 1

Overall Condition: **fair**

- Comments –
  - There is some evidence of movement cracking in the wall linings requiring repair – consultation with a structural engineer would be required to determine the significance of the cracking and a course of action as required – also see 'Subfloor'





### Ensuite

Overall Condition: **acceptable**



### Bedroom 2

Overall Condition: **acceptable**



### Bedroom 3

Overall Condition: **acceptable**



### Bedroom 4

Overall Condition: **acceptable/fair**

- Comments –
  - There is some damage to the ceiling lining that would benefit from repair



## Kitchen & Dining Area

Overall Condition: **acceptable/fair**

- Appliances (not tested)
  - upright electric stove
  - rangehood
  - dishwasher
- Cabinets - **acceptable**
- Benchtop - **acceptable**
- Splashback - **acceptable**
- Comments –
  - The junction between the benchtop and splashback would benefit from sealing to prevent damage to the benchtop, cabinets and walls
  - There is damage to the paint finish to the ceiling lining and cornice requiring repair



## Living Area

Overall Condition: **acceptable**



## Hallways

Overall Condition: **acceptable**



## Bathroom

Overall Condition: **acceptable**



## Toilet

Overall Condition: **acceptable/fair**

- Comments –
  - The junction between the vanity top and splashback tiles would benefit from sealing to prevent damage to the vanity



## Laundry

Overall Condition: **acceptable**



## Storeroom

Overall Condition: **fair/poor**

- Comments –
  - There is evidence of termite activity in the skirting board and to the top of the wall adjacent to the roller door – further invasive inspection would be required to determine the extent of any damage and a course of action as required – highly recommend consultation with a licenced timber pest specialist for further assessment and recommendation



## The Roof Cavity

Overall Condition: **acceptable/fair**

- **Roof Construction – acceptable/fair**
  - Timber Truss Construction
    - There are several split timber members – further assessment of the roof members would be beneficial to determine structural adequacy
- **Roof Covering Underside – not inspected due to the installation of insulation installed under the roof sheeting**
- **Insulation – acceptable**
  - Blow-in-type installed on the ceiling
  - Blanket type installed under the roof sheeting
- **Ceiling – not inspected due to the installation of insulation**
- **Sarking –**
  - The old/redundant sarking remaining in the roof space would benefit from removal to provide adequacy for visual inspections
- **Access - was restricted by insulation installed on the ceiling concealing electrical wiring causing unsafe access**



## The Roof Exterior

Overall Condition: **fair**

- **Roof Covering – acceptable**
  - Corrugated painted steel roof sheeting
    - *Note the roof sheeting and flashings appear to have been recently replaced*
- **Gutters, Downpipes & Flashings – fair/poor**
  - There is a dislodged gutter at the front of the building requiring repair
  - The gutter corner is leaking at the rear R/H side of the building requiring repair
  - The downpipe is dislodged at the front R/H side of the building requiring repair
  - There is damage to the base of some of the downpipes requiring repair
- **Eaves, Fascia & Barge Ends – fair**
  - There is some deterioration to the timber fascia requiring repair
  - There is visible evidence of termite activity on the timber fascia in the front verandah area – further invasive inspection would be required to determine the extent of the damage and a course of action as required – also highly recommend consultation with a licenced timber pest specialist for further assessment and recommendation
- **Vents & Flues – acceptable**
- **Other –**
  - A solar hot water service is installed on the roof
- **Access - acceptable**



## The Subfloor

Overall Condition: fair

- **Piers/Posts/Supports – fair**
  - There is cracking to the concrete block dwarf walls – consultation with a structural engineer would be required to determine the significance of the damage and a course of action as required
- **Bearers & Joists – acceptable**
  - Timber bearers and joists
- **Underside of Flooring – acceptable**
  - Timber strip flooring
- **Ventilation – poor**

- There appears to be insufficient ventilation to the area – recommend consultation with a structural engineer to determine adequacy
- **Termite Shielding – fair/poor**
  - There is damaged and incomplete physical termite barriers – highly recommend consultation with a licenced timber pest specialist for a termite management plan
- **Access – was acceptable**
- **Comments –**
  - An overflow relief gully is installed under the ensuite bathroom – recommend consultation with a licenced plumber to determine adequate compliance for health purposes
  - *Note: There were areas of the ground in the subfloor remaining wet at the time of inspection – this is most likely as a result of poor surface water drainage and inadequate ventilation*





## What Your Inspector Examines

To provide relevance and value for the reader, The following pages show (but do not limit) aspects of the property that may be examined, where visual inspection is possible. These items are considered as the inspector reviews each room or area. In many cases comment on a particular area will only be provided in the event of an adverse finding worthy of mention.

<b>Ceiling Construction</b> <ul style="list-style-type: none"> <li>• sagging</li> <li>• dampness/water damage</li> <li>• cracking</li> <li>• cornices</li> <li>• defective lining</li> <li>• nail popping</li> </ul>		
<b>Wall Construction</b> <ul style="list-style-type: none"> <li>• bulging</li> <li>• dampness/water damage</li> <li>• distortion (significant)</li> <li>• nail popping</li> <li>• cracking</li> <li>• defective lining</li> <li>• defective or damaged plaster/render</li> </ul> <p><i>Note</i> Settlement cracks, if present, need to be monitored over a period of time to determine if an ongoing structural problem exists. If any reference has been made in this report to cracking, settlement and/or movement, it should be noted that we are not experts in this area and further advice should be obtained from a Structural Engineer.</p>		
<b>Floors, Coverings and Finishes</b>		
<b>Timber Floor Construction</b> <ul style="list-style-type: none"> <li>• springy boards/sheeting</li> <li>• out of level</li> <li>• squeaky boards/sheeting</li> <li>• undulations</li> <li>• timber decay (rot)</li> <li>• dampness/water damage</li> </ul>		
<b>Concrete Floor Construction</b> <ul style="list-style-type: none"> <li>• cracking</li> <li>• out of level</li> <li>• dampness/water damage</li> </ul>		
<b>Carpets</b> <ul style="list-style-type: none"> <li>• wear</li> <li>• seam splitting</li> <li>• stains and marks</li> <li>• undulations</li> <li>• stretching</li> <li>• dampness/water damage</li> </ul>		
<b>Hard Flooring</b> <ul style="list-style-type: none"> <li>• wear</li> <li>• loose or drummy units</li> <li>• stains and marks</li> <li>• dampness/water damage</li> <li>• cracking</li> </ul>		
<b>Internal and External Doors and Door Frames</b> <ul style="list-style-type: none"> <li>• binding doors</li> <li>• loose/badly fitting doors</li> <li>• defective hardware</li> <li>• damage</li> <li>• rotting/corroded frames</li> </ul>		

## Timber and Metal Windows

- putty/glazing sealant
- loose/badly fitting doors
- fittings/hardware
- sills
- broken glass
- damage
- water staining of frames
- operation
- rotting frames or sashes (timber)
- rotting frames, corrosion (metal)

### Note

*Windows are randomly checked for correct operation. In many cases access to windows is restricted by window treatments, furniture or security locks. Older style timber windows can sometimes bind with the frame, generally due to paint build up. This is viewed as a general maintenance issue.*

## Paintwork

*The condition of painted surfaces is often a subjective matter. Areas that appear to be acceptable when furnished may not always be considered so when devoid of obstructions. Paint work is normally not considered in Property Inspections and Reports. The opinions provided here are of a general nature only, given that there can be significant differences in the condition of painted surfaces in each area of the property. The reader of this report is urged to conduct their own detailed inspection before reaching a conclusion regarding the acceptability of painted surfaces.*

*To prevent wood decay of timber surfaces and deterioration of metal components, the condition of these surfaces should be monitored and repainting carried out regularly. Corrosion of any metal roof sheeting should be repaired, treated and painted to avoid water leakages. Painted surfaces can mask areas where timber has deteriorated. Our visual inspection may not detect instances where this has occurred.*

## Wet Areas

*If a wet area was not in service prior to and or at the time of inspection and no elevated moisture readings were recorded, or there was no visible evidence of water leakage, then it is entirely possible that an existing water leak will remain undetected.*

- floor grade
- taps, basins, tubs
- drummy tiles
- sealants
- vanity
- fixtures and fittings
- floor waste
- leakage
- cracked/missing tiles
- shower leakage
- ventilation
- cistern/pan
- water hammer
- grout defects
- broken/cracked screen glass
- mirrors

## Kitchen

- bench tops
- taps
- drummy tiles
- sealants
- cupboards
- leakage
- cracked/missing tiles
- ventilation
- doors & drawers
- sink
- grout defects
- excessive water hammer

### Note

*This report does not cover any matters relating to the operation of electrical or gas appliances. Any comments made in this regard are from a general observation only.*

## Internal and External Staircases

- stringers
- newel posts
- handrails
- treads (goings)
- balustrades
- risers

**Internal Roof Space**

- framing
- party walls (if applicable)
- insulation
- sarking

*Note*

*Sarking is a foil insulation/vapour barrier. Used in conjunction with bulk insulation, sarking provides an ideal insulation system for the control of heat and condensation. Sarking can only be installed during construction.*

**External Roof Covering, Gutters and Downpipes**

- tiles/slates
- skylights
- valleys
- fascia boards
- sheet roofing
- vents
- guttering
- barge ends
- flashing
- flues
- downpipes
- eaves

*Note*

*Repainting of timber can mask the existence of timber rot. We cannot guarantee that all timbers are sound. A visual inspection may not, in some circumstances, detect roofing timbers affected by rot.*

*The stormwater system was not tested at this inspection. Blocked or non-existent stormwater drains are sometimes accountable for problems relating to roof drainage.*

*If noted, gutters that retain water should be cleaned and monitored to determine the extent of the problem. Constant immersion in water will result in accelerated deterioration of metal gutters. Re alignment of the gutters to facilitate better drainage may be required.*

**External Walls and Non Structural Retaining Walls**

- bricks
- cracking/movement
- weep holes
- decay
- mortar
- dampness
- joint sealants
- render
- visible flashing
- perpend

*Note*

*Settlement cracks, if present, need to be monitored over a period of time to determine if an ongoing structural problem exists. If any reference has been made in this report to cracking, settlement and or movement, it should be noted that we are not experts in this area and further advice, if considered necessary, should be obtained from a Structural Engineer.*

## SCOPE AND LIMITATIONS OF THE INSPECTION

*Inspection of the subject property and this report has been completed considering Australian Standard AS4349.1—2007 Inspection of buildings (Property Inspections—Residential buildings) The inspection is a **VISUAL INSPECTION ONLY**.*

*This report is intended to be read as a whole. Please read the detailed inspection information and the Scope & Limitations of Report sections before reaching any conclusions regarding the condition of the property.*

### **Limitation of Liability**

*Report on the property is on the date of inspection. No responsibility is accepted for any matter not existing or evident or for any deterioration occurring after the inspection date.*

***This inspection is completely visual.*** *Concealed areas where access is unavailable are unable to be inspected and are not reported on; such defects could include, but are not limited to:*

- *Breakage, blockage or interference with any concealed pipes, broken window mechanisms (sash cords) etc.*
- *Any part of the structure which is underground or concealed e.g. footings, wall framing, under floor coverings. Areas concealed by furnishings or stored goods etc.*

*Any cracking reported should be monitored for further movement. If further movement is noted, a structural engineer should be consulted as to the correct method for repairs. Movement cannot be measured during one inspection.*

*No responsibility can be accepted for defects which are latent or otherwise not reasonably detected on a visual inspection without interference with or removal of any of the structure including fixtures, fittings, furniture, insulation or stored items within and around the building.*

*There has been no electrical, data, security or fire detection system testing or investigation.*

### **Special Purpose Reports**

*This Property Report does not contain any assessment or opinion in relation to any item which is the subject of a **Special Purpose Property Report**, or any matter where the inspection or assessment of which is solely regulated by Statute. Special Purpose Property Reports include comment on the following: Common property areas, environmental concerns such as sunlight, privacy, streetscape and views, proximity of property to flight paths, railways and busy traffic or other neighbourhood issues; Noise levels; Health and safety issues including, but not limited to the presence of asbestos, lead or other hazardous materials; Heritage concerns; Security or fire protection systems; Climate control or water heating systems; Analysis of site drainage apart from surface water drainage; Swimming pools and spas; Detection and identification of illegal and unauthorized plumbing work; Durability of exposed finishes.*

*Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.*

*This report has been prepared as a result of a **VISUAL INSPECTION** of the building on the date stated and it is limited to the condition of those areas and sections of the building that were fully accessible (**see Reasonable Access**) and visible to the inspector at the date of the inspection.*

*This report does not and cannot make comment upon: defects which may have been concealed; the assessment or detection of defects (including rising damp or leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects; the presence or absence of timber pests; gas fittings; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns, fire protection; site drainage (apart from surface water drainage); the operation of swimming pools and spas; detection and identification of unapproved building work; detection and identification of illegal or inadequate plumbing or electrical work; durability of exposed finishes; neighbourhood problems; document analysis; any matters solely regulated by statute; any area or item that could not be inspected by the inspector.*

### **Safe and Reasonable Access**

**AS 4349.1 – 2007 3.2.2** *The ability to safely access an area shall be determined by the inspector at the time of inspection, based on the conditions encountered during inspection. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal.*

**Reasonable access shall be determined in accordance with the provisions of the following information:**

<b>Area</b>	<b>Access Manhole MM</b>	<b>Crawl Space MM</b>	<b>Height</b>
Roof Interior	450 x 500	600 x 600	Accessible from a 3.6 m ladder
Subfloor	500 x 400	Timber Floor: 400 Concrete Floor: 500	
Roof Exterior			Accessible from a 3.6 m ladder

*Accordingly, this report is not a guarantee that defects and/or damage do not exist in any part of the property not specifically seen and described by the inspector. This report is not a warranty against problems that may develop in the future.*

*Unless otherwise specified, no examination has been made of any documentation of any type. We have not referred to statutory authority records nor have we examined any survey or water and sewerage service diagram or any other document prepared by any statutory authority or other party.*

### **Purpose of This Report**

*The purpose of this report is to identify major defects or faults in the building for an intending purchaser, insofar as a property inspector can reasonably identify those defects or faults.*

*This report contains a number of observations but is not intended to list every minor defect. Minor defects are common to properties and are generally attended to during routine maintenance, redecoration and or renovation. Generally, ongoing maintenance items, upgrading, cosmetic works and minor defects or faults have not been included. These items will depend on your personal requirements and budget. The property age and type also needs to be taken into consideration.*

### **Occupational Health & Safety Act**

*A non-residential building and the common property of some group residential buildings will fall within the definition of a workplace for the purposes of the Occupational Health and Safety Act,*

*The owners of workplaces must ensure that:*

- *premises are safe and without risk*
- *plant and substances are used without risk*
- *workers are trained in OH&S, are aware of their obligations and do, in fact, act in a safe manner*

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*A pre-purchase building inspection may identify some safety issues in the common area but it is not an audit conducted for that specific purpose. It is essential that every Owners' Corporation or Company consult an appropriately qualified specialist to ensure it meets its legislative obligations.*

### **Safe Working Temperatures for the Inspector**

*When the temperature of a workspace (for example a ceiling cavity) exceeds the level considered to be safe according to OH&S guidelines, the inspector will complete a risk assessment and the inspection will be limited accordingly. In the event that the inspector decides that the temperature exceeds safe working limits, generally, the inspection will be limited to the area immediately adjacent to the access for inspection.*

### **Concealed Surfaces**

*The inspection did not include breaking apart, dismantling, removing or moving objects, including but not limited to foliage, mouldings, roof insulation or sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances, or personal possessions.*

*The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods or any other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers have not been destructively probed or hit.*

*Some defects may only be visible once furniture and other items have been removed from a property or when alterations are carried out. Built-in cupboards are usually filled with personal items and clothing. Some exterior surfaces may be obscured due to overgrown vegetation. Therefore, I cannot comment on the condition of the surfaces obscured by these items or otherwise concealed.*

### **Water Penetration**

*Some water penetration problems and/or dampness do not become apparent and sometimes cannot be detected unless there has been recent heavy rain or prolonged periods of rain.*

### **Fire Protection Equipment & Ordinance Requirements**

*These are not covered by this report and these matters should be checked with the statutory authority. Any fire protection equipment has not been tested, e.g. smoke detectors etc.*

### **Hazardous Materials & Contamination**

*Many building products with an asbestos cement component were in use prior to 1980 and are considered safe if left in their present state. The main concern with asbestos products is in relation to the sprayed Limpet Asbestos fibres which were generally used for acoustic and heat insulation in commercial buildings and these should not be tampered with before seeking expert advice which is freely available from Workcover. My inspection and report does not cover any hazardous materials or prior use of the land and building or any chemicals applied to land and buildings, which may have caused contamination.*

### **Retaining Walls & Structural Columns**

*I am not an engineer. Comment in respect of large and/or structural retaining walls and columns are beyond the scope of this report. It is not possible to determine from a visual inspection whether a retaining wall or column has been built in accordance with sound engineering principles and, even if it has, whether it is or will remain sound. An engineer should be consulted in any case where there are large, or structural, retaining walls, columns or similar building elements.*

### **Appliances**

*This report does not cover any matters relating to the operation of electrical or gas appliances. Any comments made in this regard are from a general observation only.*

**Cracking/Settlement/Movement & Structural Integrity**

When reference has been made in this report to cracking, settlement, movement or an opinion has been provided on structural integrity, **it is important to note that I am not an expert in this area** and my advice is limited accordingly. If considered necessary, further advice should be obtained from a Structural Engineer before critical decisions are made relative to such matters.

**Electrical, Gas & Other Service Installations**

I am not a licensed electrician, gas fitter or mechanical engineer. This report does not cover any matters relating to electrical and gas installations or any apparatus operated by electronic, mechanical or hydraulic means. You should satisfy yourself as to the operation and condition of any appliances or other installations. Any comments made in this regard are from general observation only.

**Plumbing & Drainage**

I am not a licensed plumber and a specialist inspection of the water service, plumbing and drainage system is excluded from this report. We recommend an inspection by a licensed plumber and drainer to identify any plumbing faults or drainage problems.

**Pests**

We strongly recommend that an independent inspection and report be obtained from a specialised, accredited Pest Inspector to determine whether the property is free from infestation (whether active or dormant).

**Boundaries**

Unless otherwise stated the inspector has not gained access to any neighbouring properties and is therefore unable to comment upon the external state of any boundary fences and walls.

**Warranty and Use of This Report**

This report is made solely for the use and benefit of the Client named in this report

**NO LIABILITY** or responsibility whatsoever, in contract or tort is accepted to any **Other Party** who may rely on the report wholly or in part. Any **Other Party** acting or relying on this report, wholly or in part, does so at their own risk.

The report is only an opinion of Karen Logan Building Inspection Reports and is valid for ninety (90) days from the date of inspection. No liability will be accepted or claims considered after the expiration of this period of liability.

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This report supersedes any other report, verbal or written, given to you by this company in respect of this property. If items require clarification, please call me for assistance.

Signed on behalf of:

**Karen Logan Building Inspection Reports**



**Karen Logan**